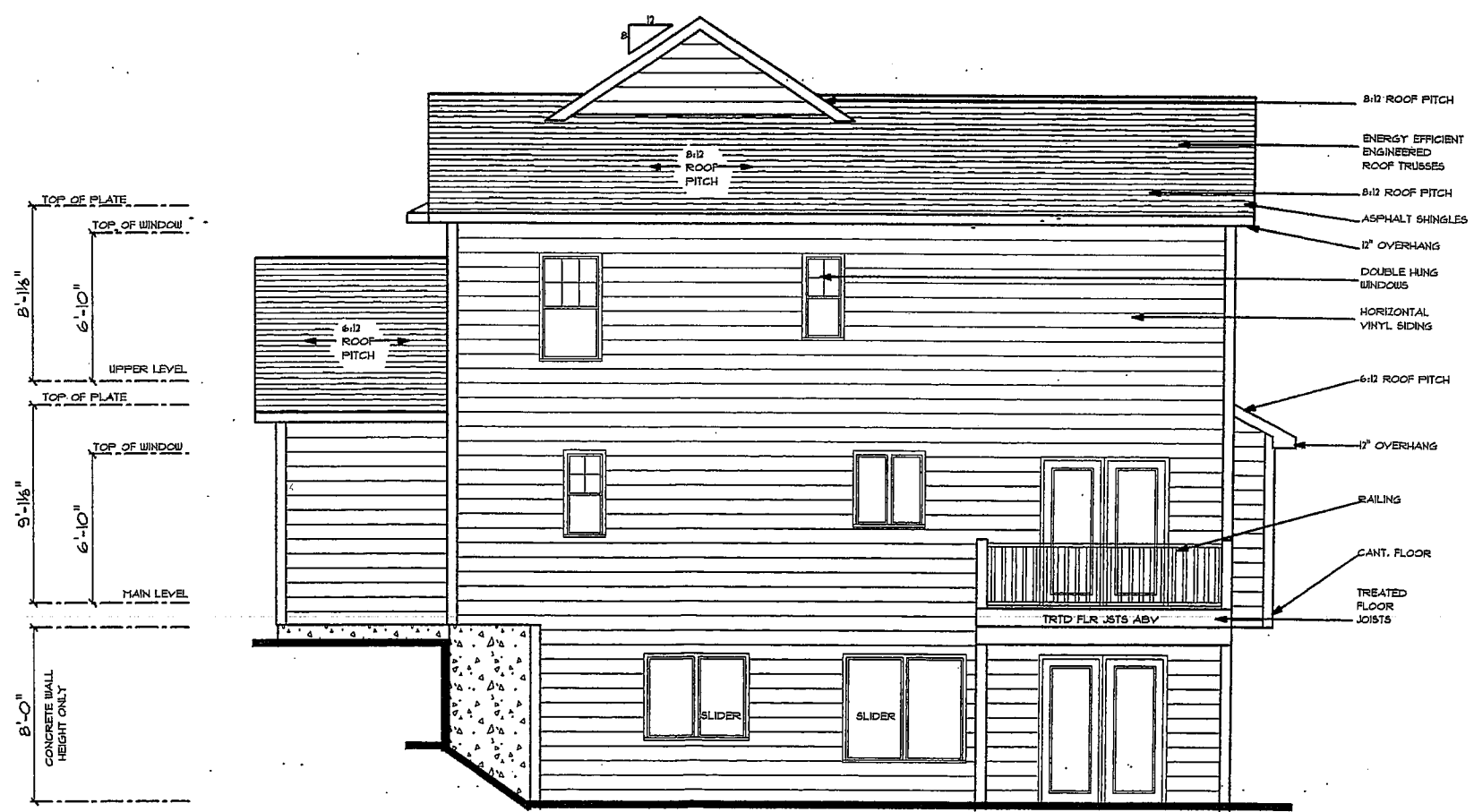




FRONT ELEVATION



REAR ELEVATION

REVISIONS

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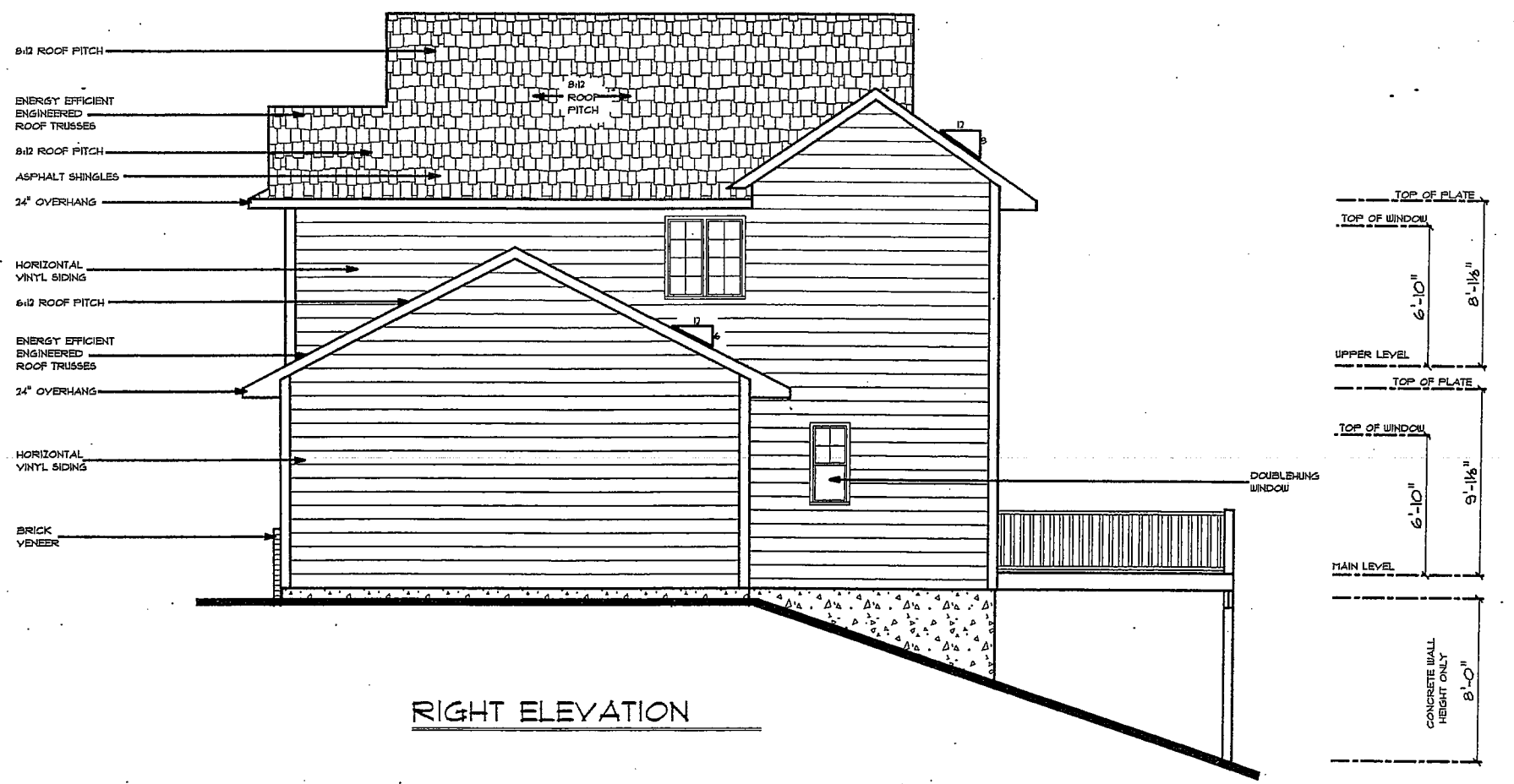
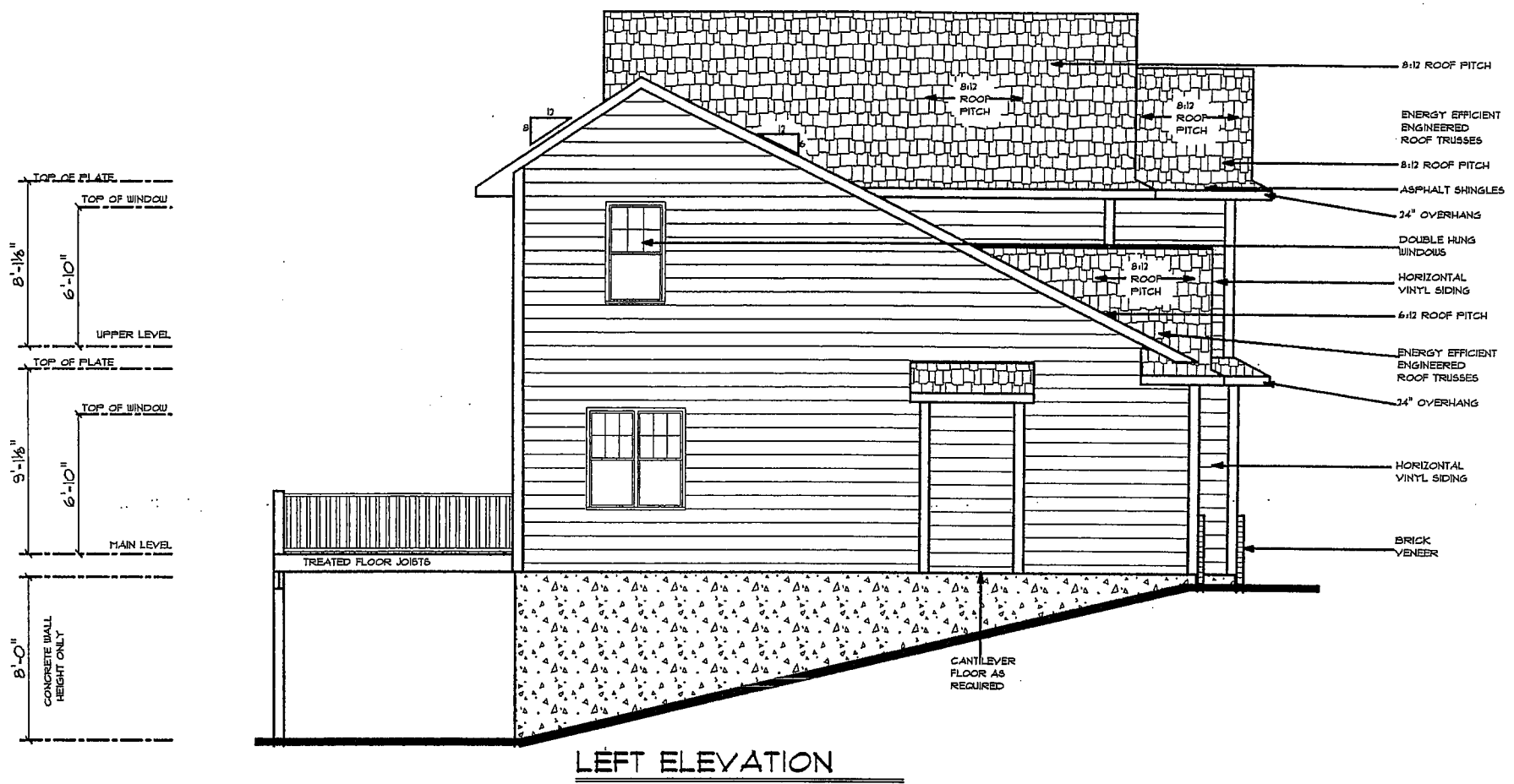
THE "CAROLINE"  
 BY  
 SOUTHGATE DEVELOPMENT

SCALE: 1/8" = 1'-0"  
 DATE: 05/18/2006  
 DRAWN BY: CDM  
 CHECKED BY: CDM  
 PROJECT NUMBER: 06R707

AI

DESIGN ELEMENTS IS NOT AN ARCHITECT OR ENGINEER AND CONSTRUCTION FROM THESE PLANS SHOULD FIRST BE REVIEWED BY A CONSTRUCTION PROFESSIONAL. THE CLIENT AND BUILDER OF THIS PLAN RELEASES DESIGN ELEMENTS FROM ANY CLAIMS OR LAWSUITS THAT COULD ARISE DURING OR AFTER THE CONSTRUCTION OF THIS HOME OR BUILDING. IN CONCLUSION, THIS HOME OR BUILDING, DIMENSIONS, AND DETAILS MUST BE CAREFULLY REVIEWED BY A STRUCTURAL DESIGN PROFESSIONAL.

REVISIONS



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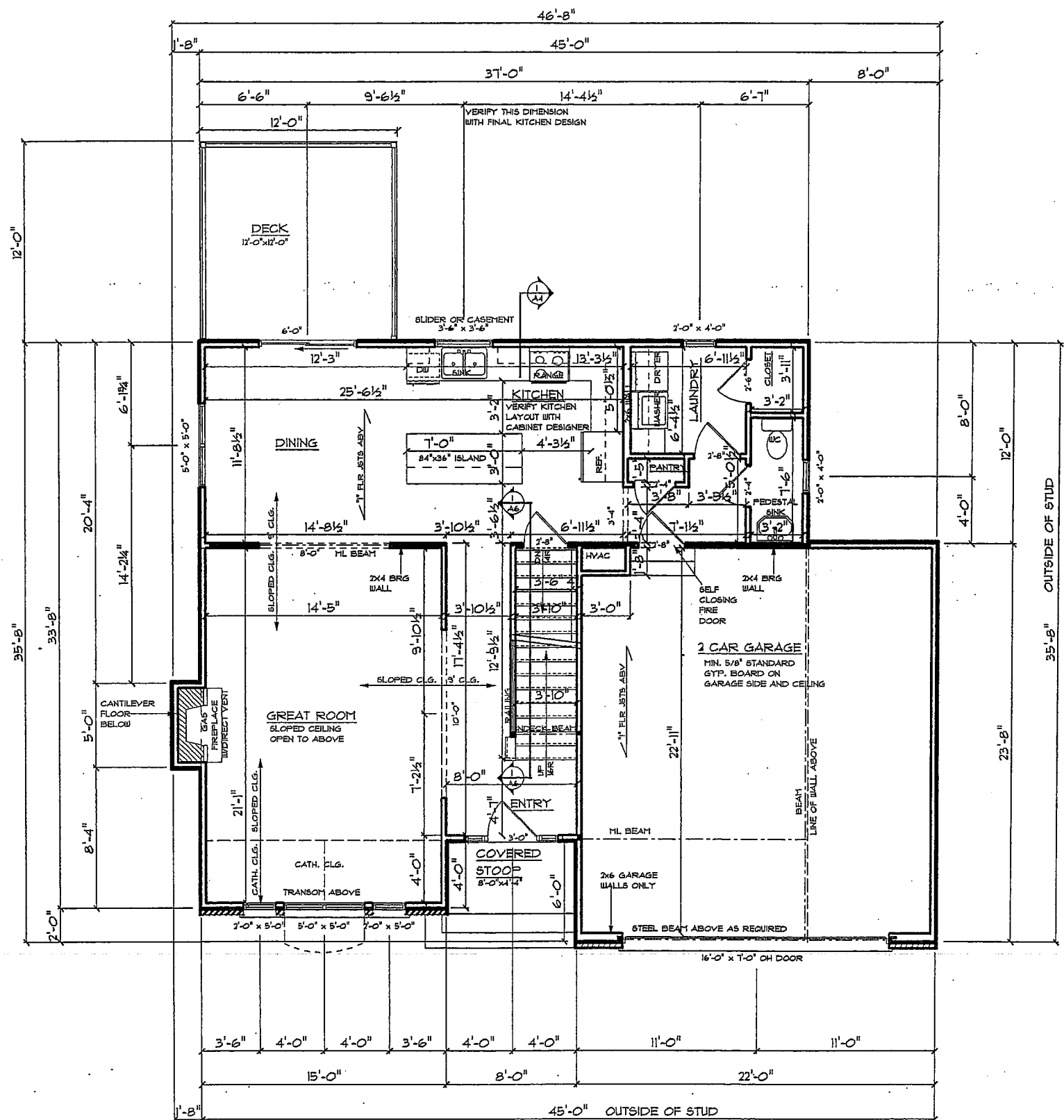
THE "CAROLINE"  
BY  
SOUTHGATE DEVELOPMENT

SCALE: 1/8" = 1'-0"  
DATE: 05/18/2006  
DRAWN BY: CDM  
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PROJECT NUMBER: 06R707

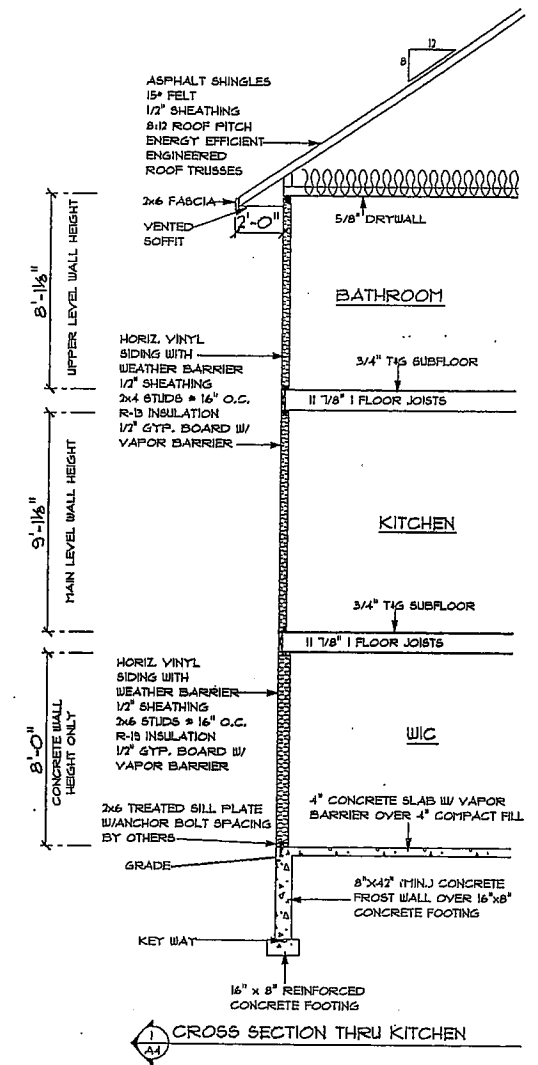
A2

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**MAIN LEVEL FLOOR PLAN**  
 MAIN LEVEL: 907 SQ. FT.  
 UPPER LEVEL: 897 SQ. FT.  
 TOTAL SQ. FT.: 1804 SQ. FT.



- NOTES**
- 9'-1 1/8" WALL HEIGHTS UNLESS NOTED
  - GERKIN DOUBLEDUP WINDOWS UNLESS NOTED - VERIFY SIZES
  - ALL DIMENSIONS ARE FRAME TO FRAME
  - ROOF TRUSSES ARE TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE STATE OF CONSTRUCTION
  - EXTERIOR WALLS ARE 2x4'S AT 16" O.C.
  - INTERIOR WALLS ARE 2x4'S AT 16" O.C.
  - FLOOR JOISTS AND BEAMS SIZES ARE TO BE DETERMINED BY SUPPLIER
  - 2x6 PLUMBING WALLS AS REQUIRED
  - 24" CLEARANCE IN FRONT OF OPENING TO SHOWER
  - 21" CLEARANCE IN FRONT OF WATER CLOSET
  - STAIRS - MIN. RUN 10" - MAX RISE 7 3/4"
  - LOCATION OF ATTIC ACCESS TO BE DETERMINED BY CONTRACTOR

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THE "CAROLINE"  
 BY  
 SOUTHGATE DEVELOPMENT

SCALE: 1/8" = 1'-0"  
 DATE: 05/18/2006  
 DRAWN BY: CDM  
 CHECKED BY: CDM  
 PROJECT NUMBER: 062707

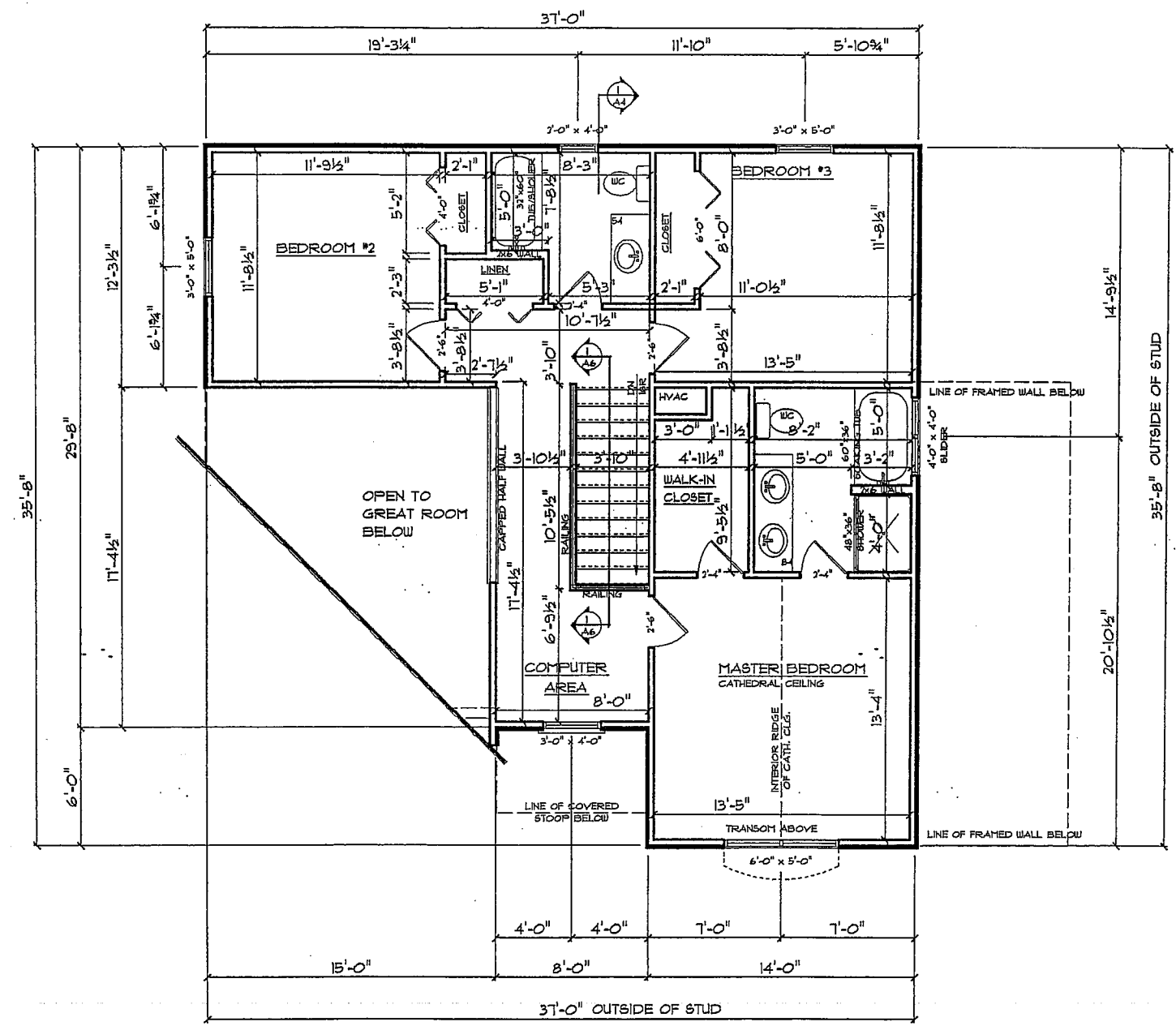
• A4 •

DESIGN ELEMENTS IS NOT AN ARCHITECT OR ENGINEER AND CONSTRUCTION FROM THESE PLANS SHOULD FIRST BE REVIEWED BY A CONSTRUCTION PROFESSIONAL. THE CLIENT AND BUILDER OF THIS PLAN RELEASES DESIGN ELEMENTS FROM ANY CLAIMS OR DAMAGES THAT COULD ARISE ARISING AFTER THE CONSTRUCTION OF THIS WORK OR BUILDING IN COMPLIANCE WITH ALL STRUCTURAL REQUIREMENTS AND STATUTES MUST BE CAREFULLY REVIEWED BY A STRUCTURAL DESIGN PROFESSIONAL.

NOTES

- 8'-1 1/8" WALL HEIGHT UNLESS NOTED
- DOUBLE HUNG WINDOWS TO BE USED THROUGHOUT, VERIFY SIZES
- EGRESS WINDOWS ARE TO BE IN ALL BEDROOMS
- USE TEMPERED GLASS WHERE NEEDED TO MEET CODE REQUIREMENTS
- ALL DIMENSIONS ARE FRAME TO FRAME
- ROOF TRUSSES ARE TO BE DESIGNED AND CERTIFIED BY A LICENSED ENGINEER IN THE STATE OF CONSTRUCTION
- ALL EXTERIOR WALLS ARE 2x4'S AT 16" OC
- ALL INTERIOR WALLS ARE 2x4'S AT 16" OC
- GARAGE WALLS ARE 2x4'S AT 16" OC
- 2x6 PLUMBING WALLS AS REQUIRED
- BEAM SIZES AND POST SPACING ARE TO BE DETERMINED BY OTHERS
- ACTUAL TJI FLOOR LAYOUT AND SPACING BY MFG.
- 24" CLEARANCE IN FRONT OF OPENING TO SHOWER
- 21" CLEARANCE IN FRONT OF WATER CLOSET
- STAIRS - MAX. RISE: 7 3/4" - MIN. RUN: 10"
- LOCATION OF ATTIC ACCESS IS TO BE DETERMINED BY GENERAL CONTRACTOR

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 39463044570  
 CLUSTMAN@GMAIL.COM



UPPER LEVEL FLOOR PLAN  
 MAIN LEVEL: 907 SQ. FT.  
 UPPER LEVEL: 897 SQ. FT.  
 TOTAL SQ. FT.: 1804 SQ. FT.

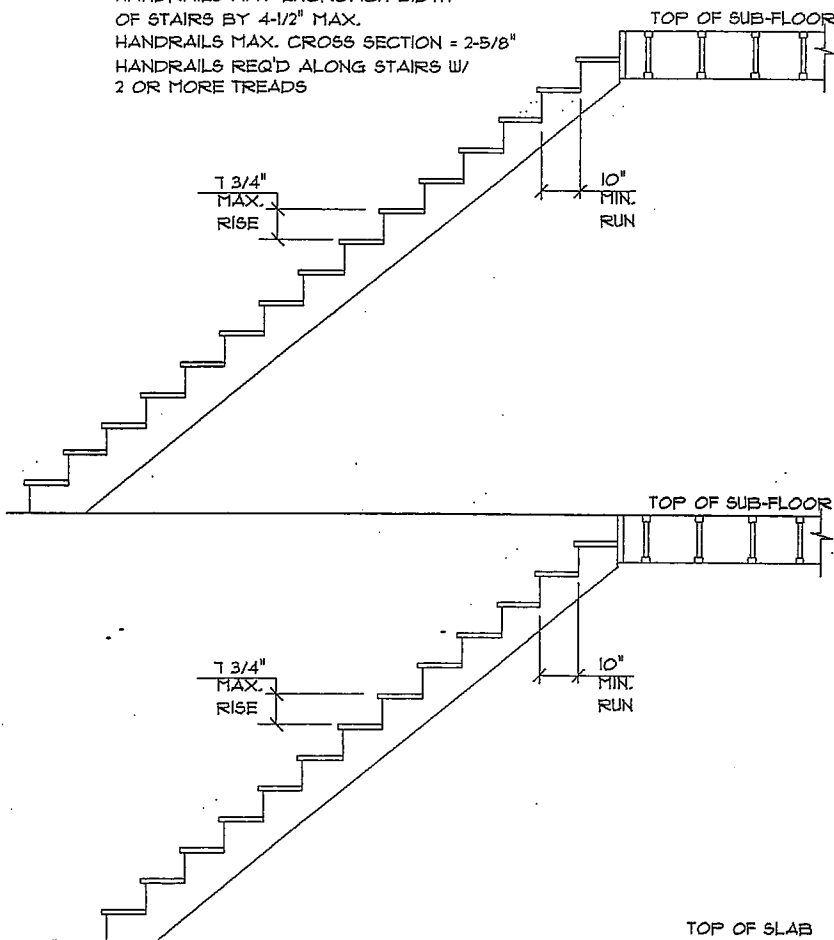
THE "CAROLINE"  
 BY  
 SOUTHGATE DEVELOPMENT

SCALE: 1/8" = 1'-0"  
 DATE: 05/18/2006  
 DRAWN BY: CDM  
 CHECKED BY: CDM  
 PROJECT NUMBER: 0312284

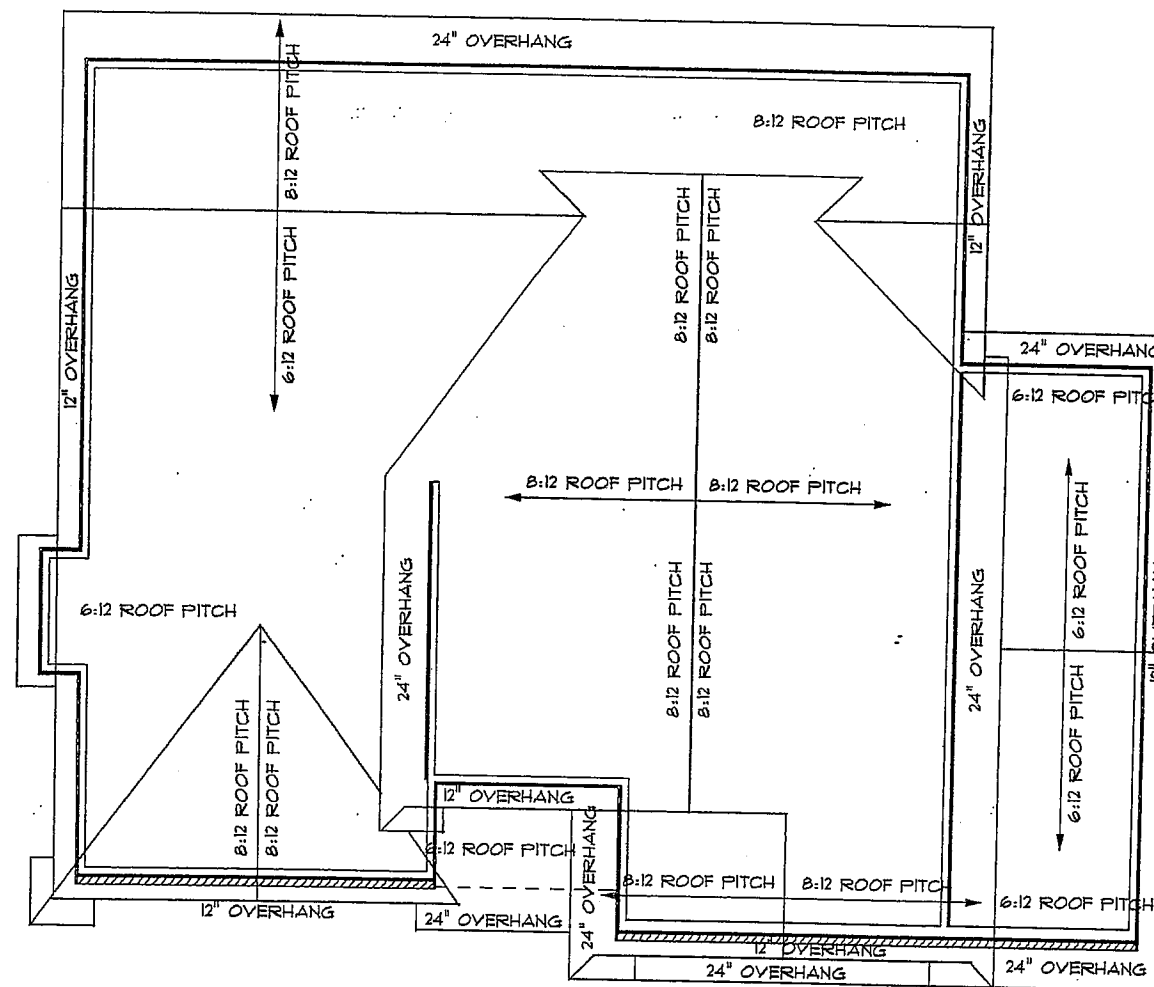
DESIGN ELEMENTS IS NOT AN ARCHITECT OR ENGINEER AND CONSTRUCTION FROM THESE PLANS SHOULD FIRST BE REVIEWED BY A CONSTRUCTION PROFESSIONAL. THE CLIENT AND BUILDER OF THIS PLAN RELEASES DESIGN ELEMENTS FROM ANY CLAIMS OR LAWSUITS THAT COULD ARISE DURING OR AFTER THE CONSTRUCTION OF THIS HOME OR BUILDING. BY CONCLUSION, ALL STRUCTURAL MEMBERS, DIMENSIONS, AND DETAILS MUST BE CAREFULLY REVIEWED BY A STRUCTURAL DESIGN PROFESSIONAL.

STAIR NOTES:  
 MIN. RUN 0'-10"  
 MAX. RISE 0'-7 3/4"  
 MIN. HEADROOM 6'-8"

HANDRAIL HEIGHTS 34"-38"  
 HANDRAILS MAY ENCR OACH WIDTH  
 OF STAIRS BY 4-1/2" MAX.  
 HANDRAILS MAX. CROSS SECTION = 2-5/8"  
 HANDRAILS REQ'D ALONG STAIRS W/  
 2 OR MORE TREADS



STAIR SECTION  
 NOT TO SCALE



ROOF PLAN

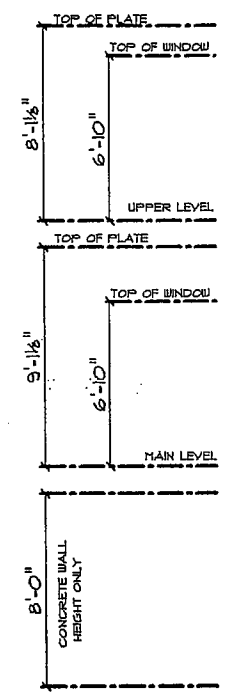
REVISIONS

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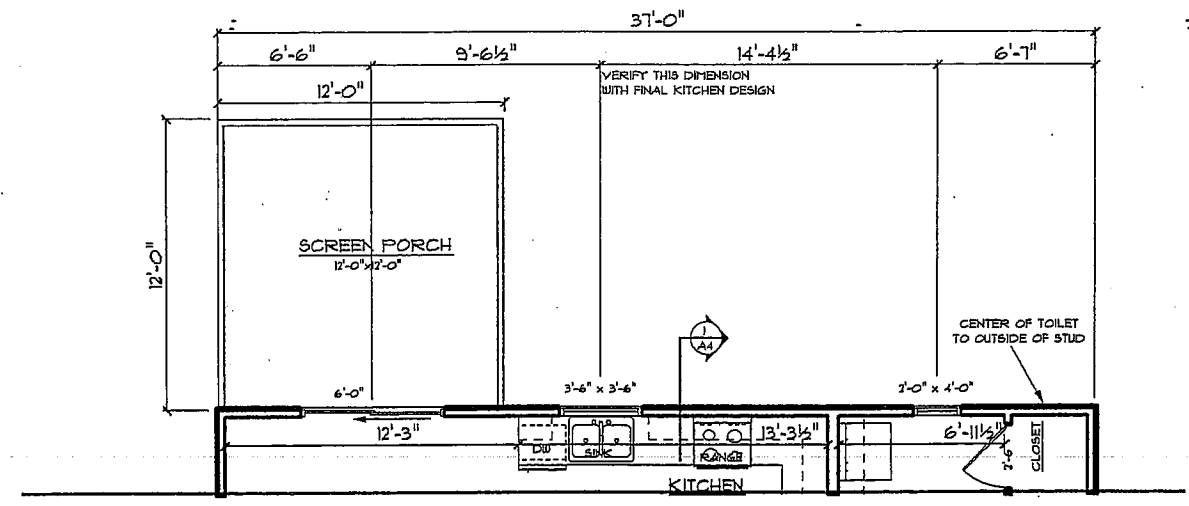
THE "CAROLINE"  
 BY  
 SOUTHGATE DEVELOPMENT

SCALE: 1/8" = 1'-0"  
 DATE: 05/18/2006  
 DRAWN BY: CDM  
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 PROJECT NUMBER: 06R707

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REAR ELEVATION



OPTIONAL SCREEN PORCH

SCREEN PORCH OPTION

THE "CAROLINE"  
BY  
SOUTHGATE DEVELOPMENT

NOTES

- 9'-1 1/8" WALL HEIGHTS UNLESS NOTED
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- 2x6 PLUMBING WALLS AS REQUIRED
- 24" CLEARANCE IN FRONT OF OPENING TO SHOWER
- 21" CLEARANCE IN FRONT OF WATER CLOSET
- STAIRS - MIN. RUN 10" - MAX RISE 7 3/4"
- LOCATION OF ATTIC ACCESS TO BE DETERMINED BY CONTRACTOR

SCALE: 1/8" = 1'-0"  
DATE: 05/18/2006  
DRAWN BY: CDM  
CHECKED BY: CDM  
PROJECT NUMBER: 06P2707

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