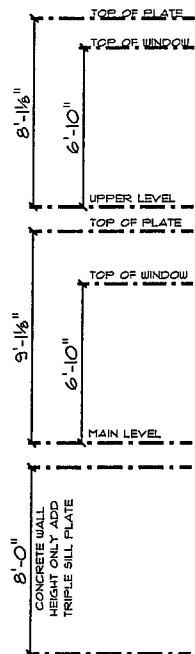


FRONT ELEVATION



REAR ELEVATION

REVISIONS

DESIGN ELEMENTS

RESIDENTIAL - LIGHT COMMERCIAL DRAFTING

LANE TRELLE - P/W/A - 527955

90-653-4570

CLUSTMAN@DESIGNELEMENTS.COM

THE PRESTON
BY
SOUTHGATE DEVELOPMENT

SCALE: 1/8" = 1'-0"

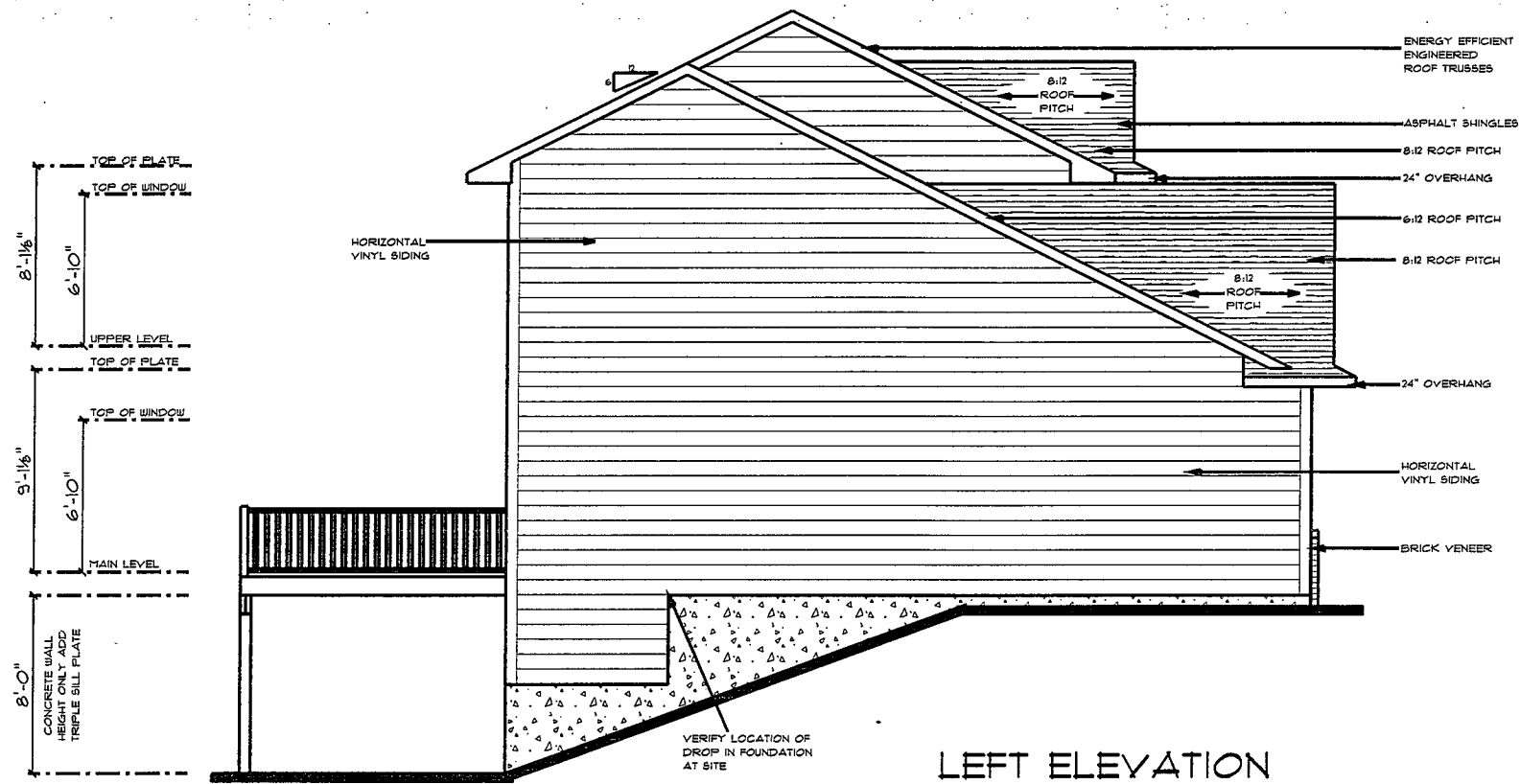
DATE: 08/05/2008

DRAWN BY: JAC

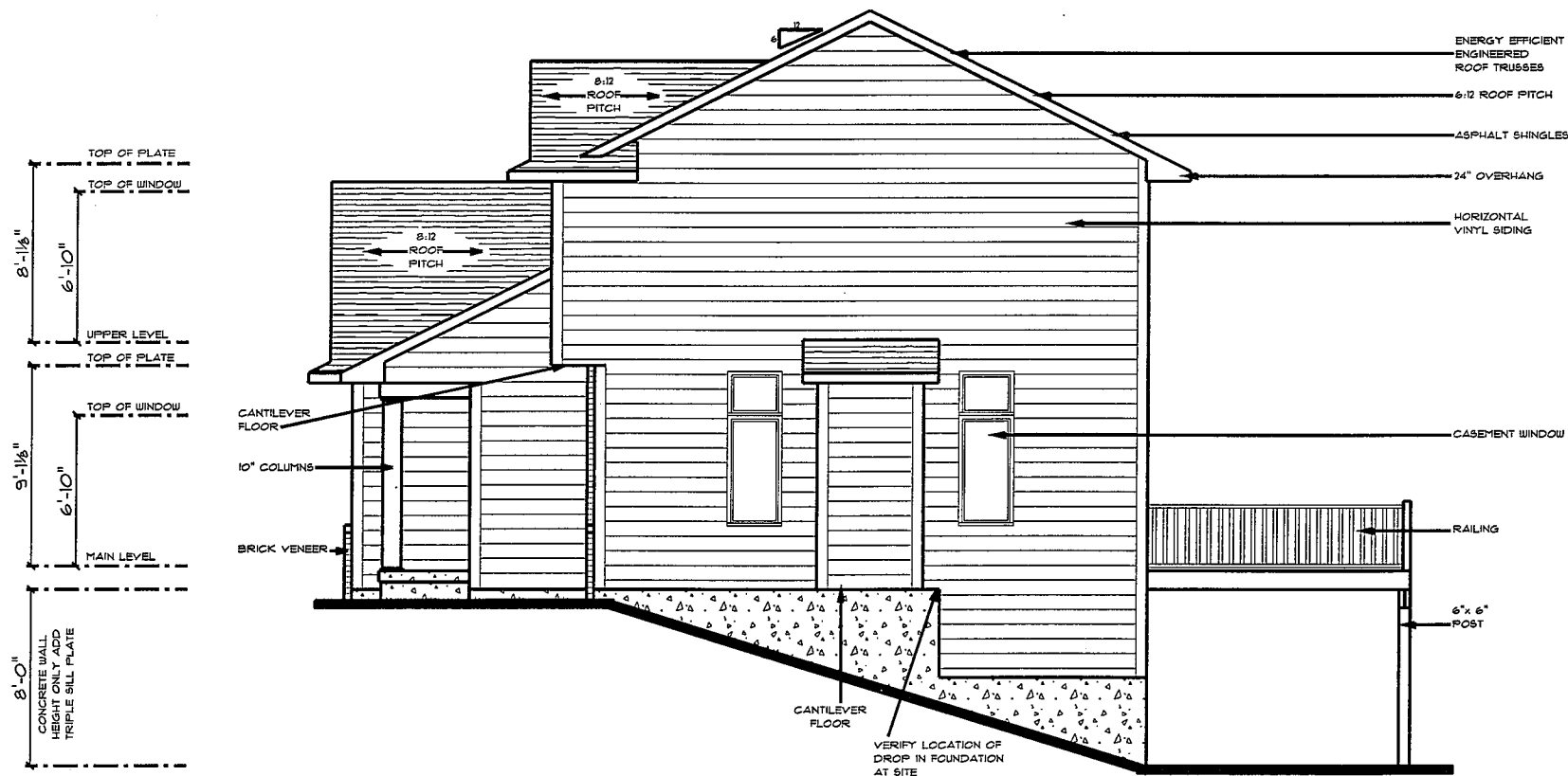
CHECKED BY: CDM

PROJECT NUMBER: 07R861

AI



LEFT ELEVATION



RIGHT ELEVATION

REVISIONS

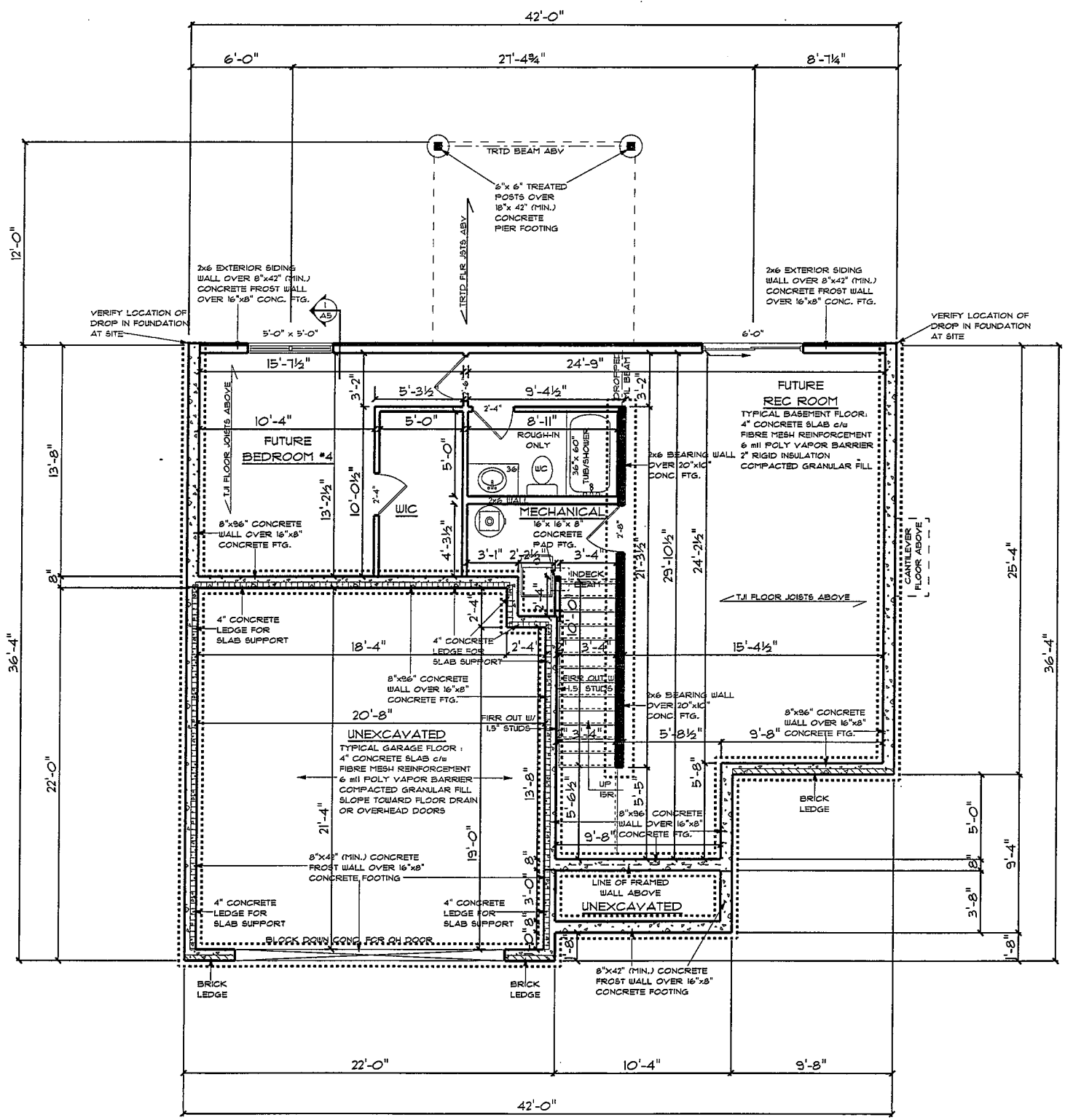
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90-634-4570
CLERK@NAVAARCH.COM

THE "PRESTON"
BY
SOUTHGATE DEVELOPMENT

SCALE: 1/8" = 1'-0"
DATE: 08/05/2008
DRAWN BY: JAC
CHECKED BY: GDM
PROJECT NUMBER: 07R861

A2

DESIGN ELEMENTS IS NOT AN ARCHITECT OR ENGINEER AND CONSTRUCTION FROM THESE PLANS SHOULD FIRST BE REVIEWED BY A CONSTRUCTION PROFESSIONAL. THE CLIENT AND BUILDER OF THIS PLAN RELEASES DESIGN ELEMENTS FROM ANY CLAIMS OR LAWSUITS THAT COULD ARISE FROM OR AFTER THE CONSTRUCTION OF THIS HOME OR BUILDING. NO CONSTRUCTION ALL STRUCTURAL MEMBER DIMENSIONS AND DETAILS MUST BE CAREFULLY REVIEWED BY A STRUCTURAL DESIGN PROFESSIONAL.



LOWER LEVEL / FOUNDATION PLAN

MAIN LEVEL: 870 SQ. FT.
 UPPER LEVEL: 830 SQ. FT.
 TOTAL SQ. FT.: 1700 SQ. FT.

- NOTES**
- 8'-0" BASEMENT WALL HEIGHT, ADD TRIPLE SILL PLATE
 - SLIDER WINDOWS UNLESS NOTED
 - VERIFY SIZES
 - ALL DIMENSIONS ARE FRAME TO FRAME
 - ROOF TRUSSES ARE TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE STATE OF CONSTRUCTION
 - EXTERIOR WALLS ARE 2x6'S AT 16" O.C.
 - INTERIOR WALLS ARE 2x4'S AT 16" O.C.
 - FLOOR JOISTS AND BEAMS SIZES ARE TO BE DETERMINED BY SUPPLIER
 - 2x6 PLUMBING WALLS AS REQUIRED
 - 24" CLEARANCE IN FRONT OF OPENING TO SHOWER
 - 21" CLEARANCE IN FRONT OF WATER CLOSET
 - STAIRS - MIN. RUN 10" - MAX RISE 1 3/4"
 - LOCATION OF ATTIC ACCESS TO BE DETERMINED BY CONTRACTOR

REVISIONS

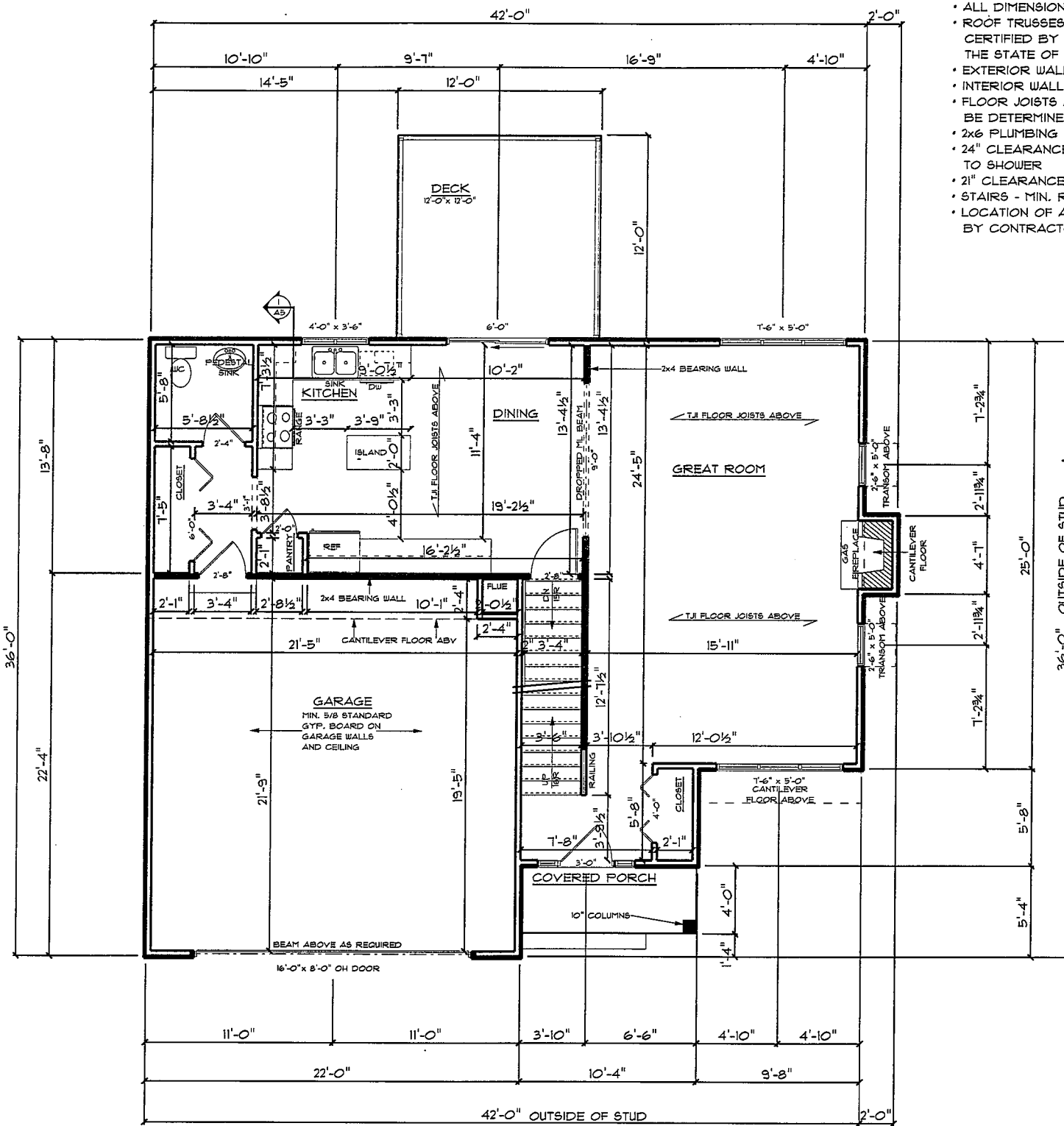
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 LAKE TRELE • WVA • 52795
 390 4624 42570
 CURLESTNAVA@GMAIL.COM

THE 'PRESTON' BY SOUTHGATE DEVELOPMENT

SCALE: 1/8" = 1'-0"
 DATE: 08/05/2008
 DRAWN BY: JAC
 CHECKED BY: CDM
 PROJECT NUMBER: 07R861

A3

DESIGN ELEMENTS IS NOT AN ARCHITECT OR ENGINEER AND CONSTRUCTION FROM THESE PLANS SHOULD FIRST BE REVIEWED BY A CONSTRUCTION PROFESSIONAL. THE CLIENT AND BUILDER OF THIS PLAN RELEASES DESIGN ELEMENTS FROM ANY CLAIMS OR DAMAGES THAT COULD BE INCURRED OR AFTER THE CONSTRUCTION OF THIS HOME OR BUILDING. IN CONCLUSION ALL STRUCTURAL MEMBERS, DIMENSIONS AND DETAILS MUST BE CAREFULLY REVIEWED BY A STRUCTURAL DESIGN PROFESSIONAL.



UPPER LEVEL FLOOR PLAN

MAIN LEVEL: 870 SQ. FT.
 UPPER LEVEL: 830 SQ. FT.
 TOTAL SQ. FT.: 1700 SQ. FT.

NOTES

- 9'-1 1/8" WALL HEIGHTS UNLESS NOTED
- SLIDER WINDOWS UNLESS NOTED
- - VERIFY SIZES
- ALL DIMENSIONS ARE FRAME TO FRAME
- ROOF TRUSSES ARE TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE STATE OF CONSTRUCTION
- EXTERIOR WALLS ARE 2x4'S AT 16" O.C.
- INTERIOR WALLS ARE 2x4'S AT 16" O.C.
- FLOOR JOISTS AND BEAMS SIZES ARE TO BE DETERMINED BY SUPPLIER
- 2x6 PLUMBING WALLS AS REQUIRED
- 24" CLEARANCE IN FRONT OF OPENING TO SHOWER
- 21" CLEARANCE IN FRONT OF WATER CLOSET
- STAIRS - MIN. RUN 10" - MAX RISE 1 3/4"
- LOCATION OF ATTIC ACCESS TO BE DETERMINED BY CONTRACTOR

REVISIONS

NO.	DESCRIPTION

DESIGN ELEMENTS
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 LONE TREE • WVA • 52755
 394-624-4370
 CLEVELAND@DESIGNELEMENTS.COM

THE PRESTON
 BY
SOUTHGATE DEVELOPMENT

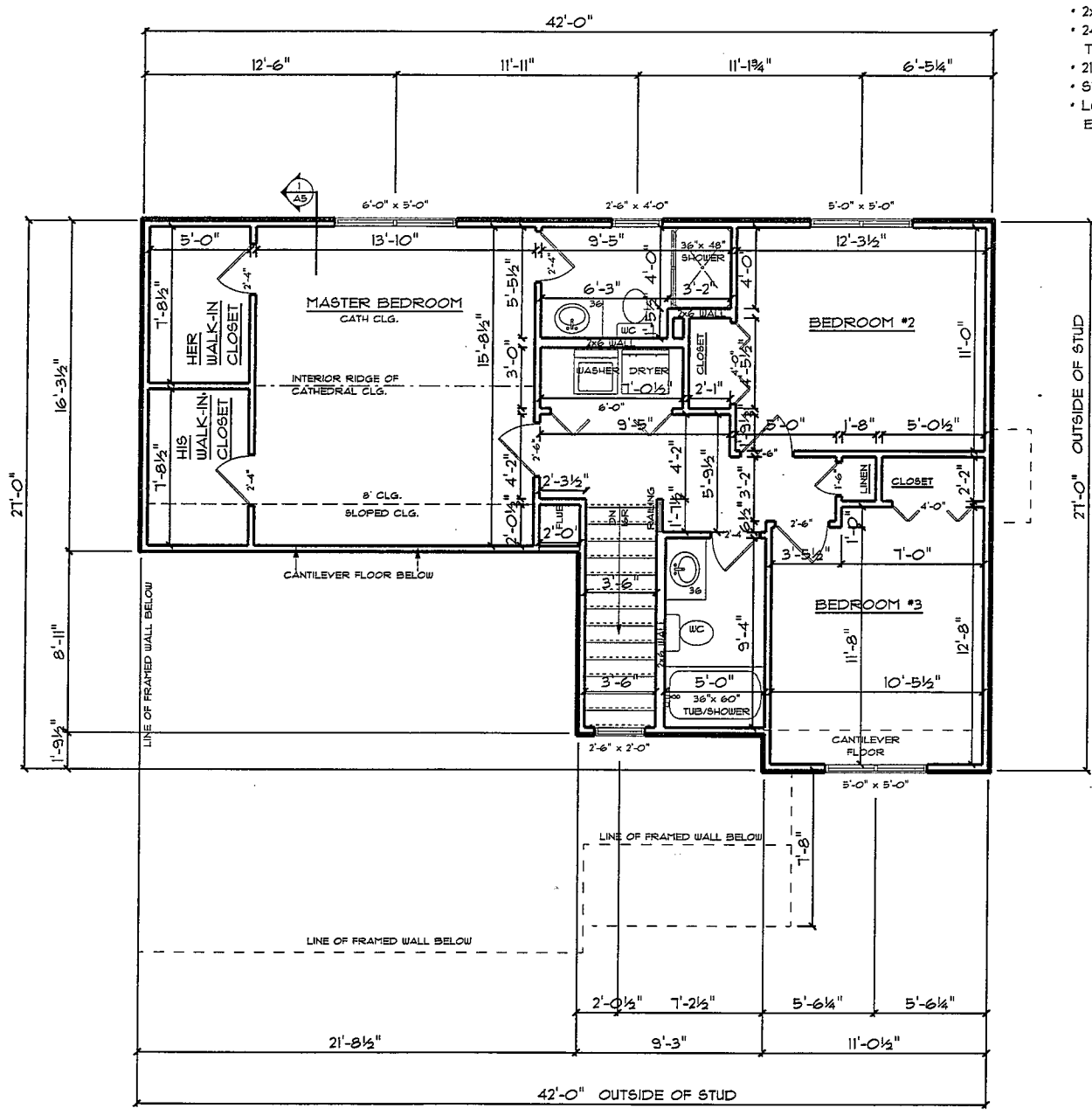
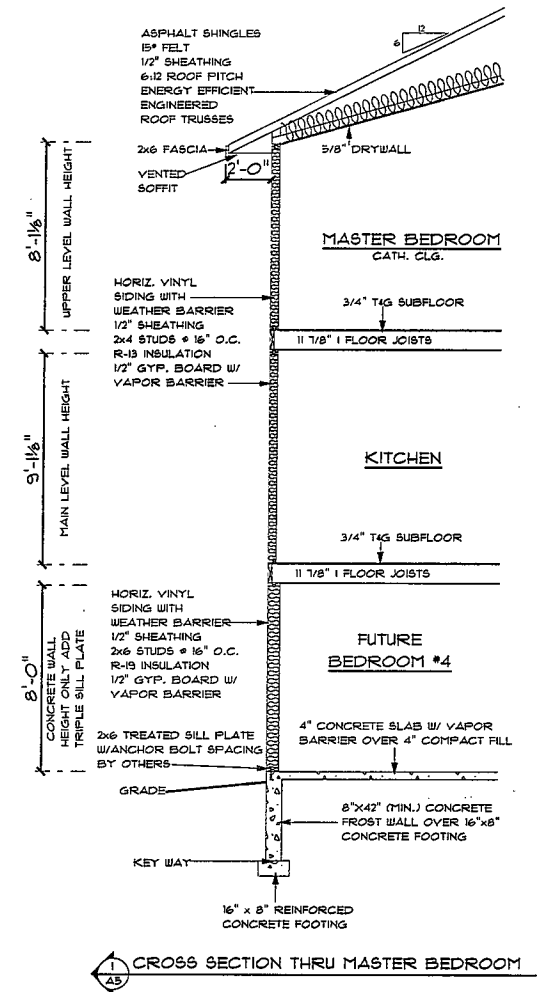
SCALE: 1/8" = 1'-0"
 DATE: 08/05/2008
 DRAWN BY: JAC
 CHECKED BY: CDM
 PROJECT NUMBER: 07R861

• A4 •

DESIGN ELEMENTS IS NOT AN ARCHITECT OR ENGINEER AND CONSTRUCTION FROM THESE PLANS SHOULD FIRST BE REVIEWED BY A CONSTRUCTION PROFESSIONAL. THE CLIENT AND BUILDER OF THIS PLAN RELEASES DESIGN ELEMENTS FROM ANY CLAIMS OR LAWSUITS THAT COULD BE BROUGHT OR AFTER THE CONSTRUCTION OF THE HOME OR BUILDING. IN CONCLUSION ALL STRUCTURAL MEMBERS, DIMENSIONS AND DETAILS MUST BE CAREFULLY REVIEWED BY A STRUCTURAL DESIGN PROFESSIONAL.

- NOTES**
- 8'-1 1/8" WALL HEIGHTS UNLESS NOTED
 - SLIDER WINDOWS UNLESS NOTED - VERIFY SIZES
 - ALL DIMENSIONS ARE FRAME TO FRAME
 - ROOF TRUSSES ARE TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE STATE OF CONSTRUCTION
 - EXTERIOR WALLS ARE 2x4'S AT 16" O.C.
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 - FLOOR JOISTS AND BEAMS SIZES ARE TO BE DETERMINED BY SUPPLIER
 - 2x6 PLUMBING WALLS AS REQUIRED
 - 24" CLEARANCE IN FRONT OF OPENING TO SHOWER
 - 21" CLEARANCE IN FRONT OF WATER CLOSET
 - STAIRS - MIN. RUN 10" - MAX RISE 7 3/4"
 - LOCATION OF ATTIC ACCESS TO BE DETERMINED BY CONTRACTOR

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 39-624-4370
 CURLESTMAN@DESIGNELEMENTS.COM



UPPER LEVEL FLOOR PLAN

MAIN LEVEL: 870 SQ. FT.
 UPPER LEVEL: 830 SQ. FT.
 TOTAL SQ. FT.: 1700 SQ. FT.

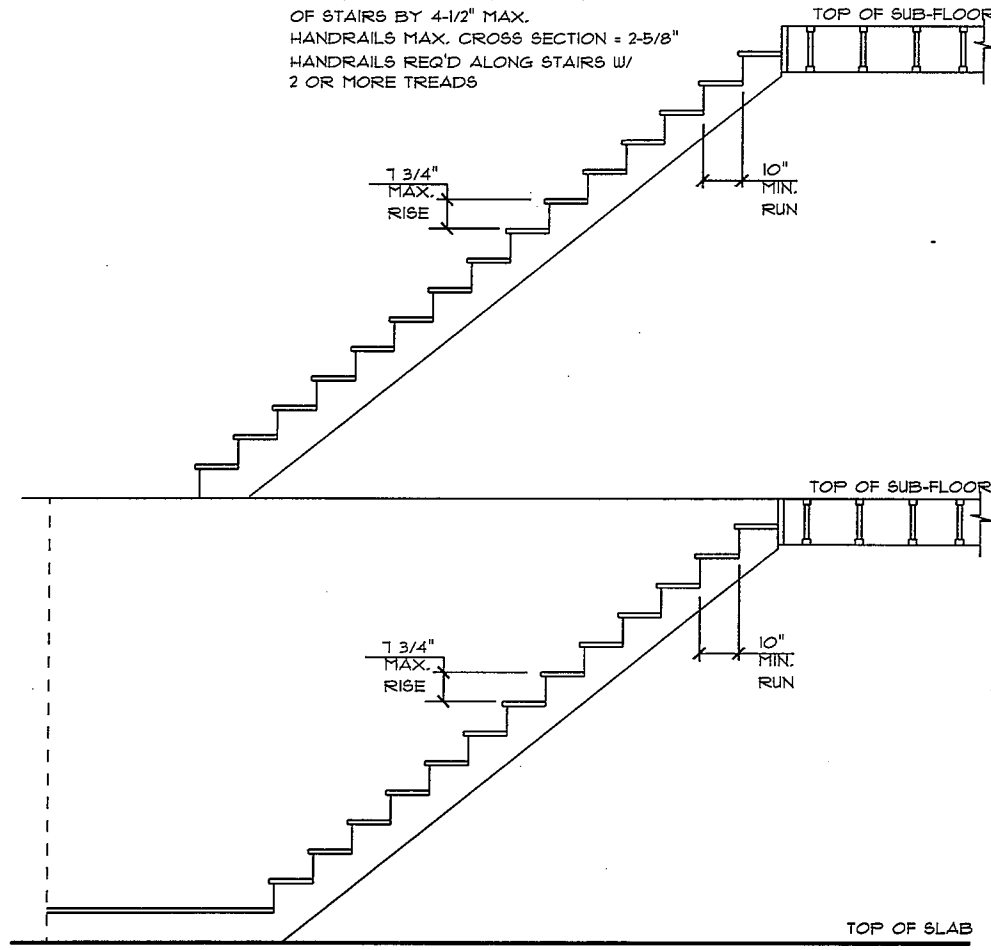
THE PRESTON
 BY
 SOUTHGATE DEVELOPMENT

SCALE: 1/8" = 1'-0"
 DATE: 08/05/2008
 DRAWN BY: JAC
 CHECKED BY: CDM
 PROJECT NUMBER: 07R861

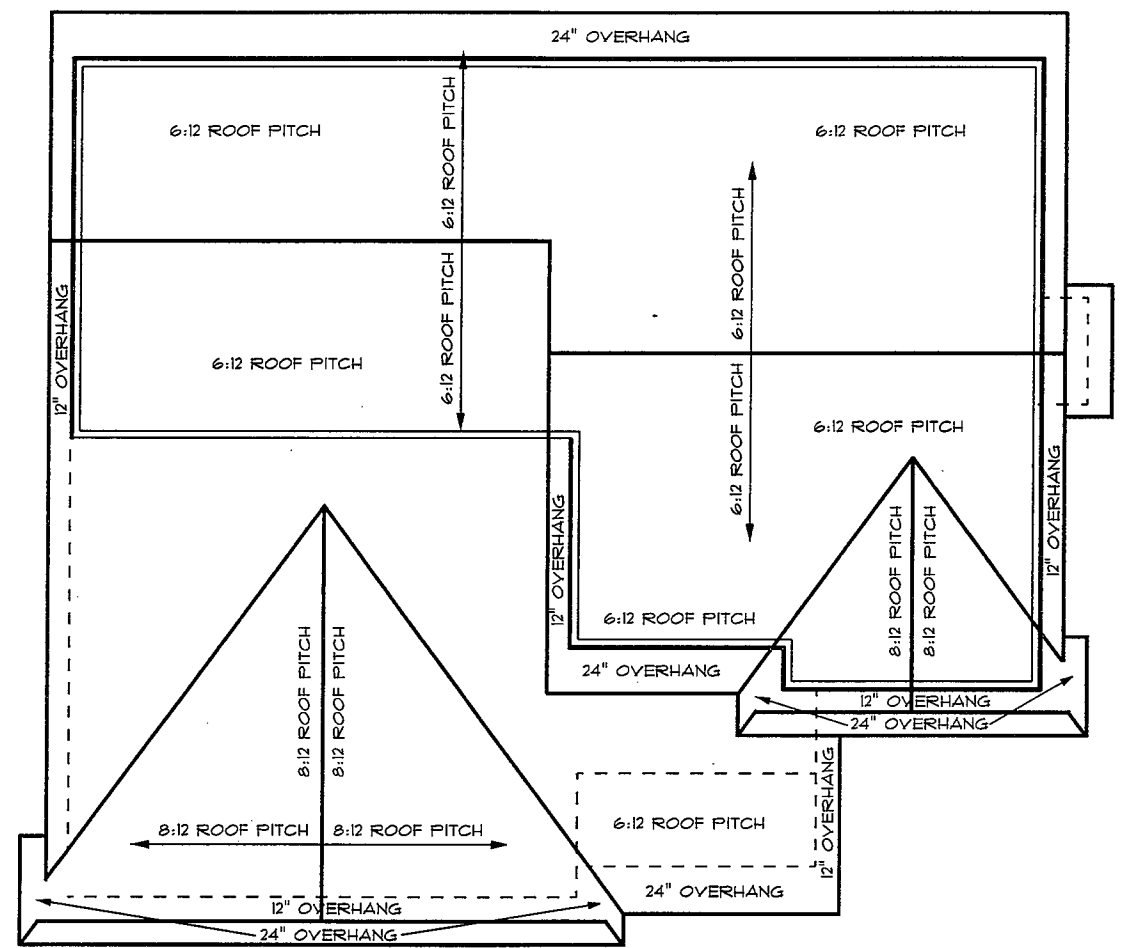
DESIGN ELEMENTS IS NOT AN ARCHITECT OR ENGINEER AND CONSTRUCTION FROM THESE PLANS SHOULD FIRST BE REVIEWED BY A CONSTRUCTION SUPERVISOR. THE CLIENT AND OWNER OF THIS PLAN RELEASES DESIGN ELEMENTS FROM ANY CLAIMS OR LAWSUITS THAT COULD ARISE DURING OR AFTER THE CONSTRUCTION OF THIS HOME OR BUILDING. IN CONCLUSION ALL STRUCTURAL MEMBERS, DIMENSIONS AND DETAILS MUST BE CAREFULLY REVIEWED BY A STRUCTURAL DESIGN PROFESSIONAL.

STAIR NOTES:
 MIN. RUN 0'-10"
 MAX. RISE 0'-1 3/4"
 MIN. HEADROOM 6'-8"

HANDRAIL HEIGHTS 34"-38"
 HANDRAILS MAY ENCR OACH WIDTH
 OF STAIRS BY 4-1/2" MAX.
 HANDRAILS MAX. CROSS SECTION = 2-5/8"
 HANDRAILS REQ'D ALONG STAIRS W/
 2 OR MORE TREADS



STAIR SECTION
 NOT TO SCALE



ROOF PLAN

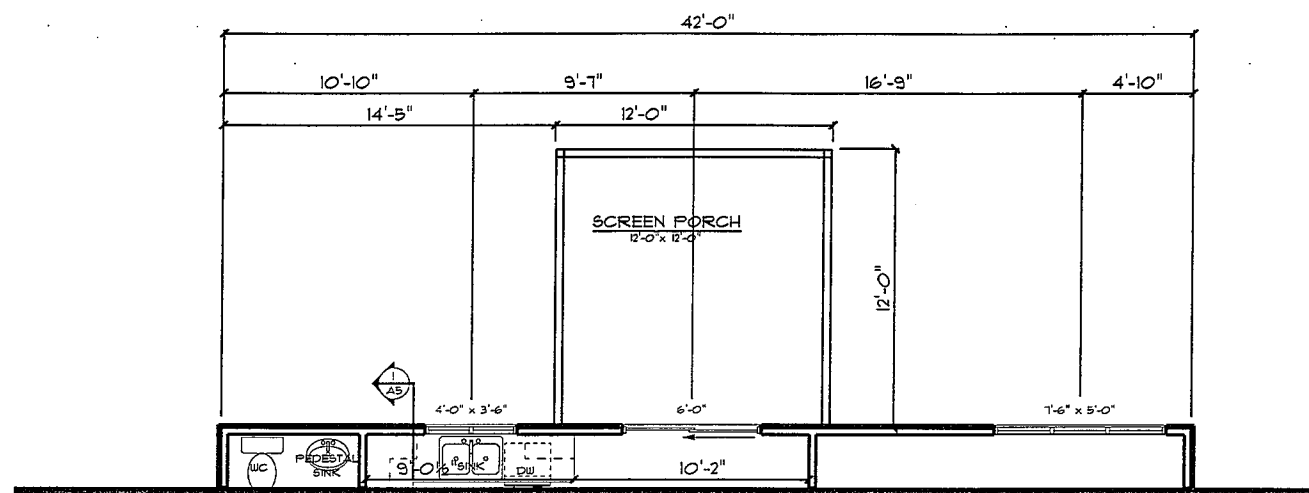
REVISIONS

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 391-624-4370
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THE 'PRESTON'
 BY
 SOUTHGATE DEVELOPMENT

SCALE: 1/8" = 1'-0"
 DATE: 08/05/2008
 DRAWN BY: JAC
 CHECKED BY: CDM
 PROJECT NUMBER: 07R861

DESIGN ELEMENTS IS NOT AN ARCHITECT
 OR ENGINEER AND CONSTRUCTION FROM
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 HOLDER OF THIS PLAN RELEASES
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 OR AFTER THE CONSTRUCTION OF THE
 HOME OR PREMISE. IN CONCLUSION ALL
 STRUCTURAL MEMBERS, DIMENSIONS AND
 DETAILS MUST BE CAREFULLY
 REVIEWED BY A STRUCTURAL DESIGN
 PROFESSIONAL.



OPTIONAL SCREEN PORCH



REAR ELEVATION

NOTES

- 9'-1 1/8" WALL HEIGHTS UNLESS NOTED
- SLIDER WINDOWS UNLESS NOTED
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- 24" CLEARANCE IN FRONT OF OPENING TO SHOWER
- 2" CLEARANCE IN FRONT OF WATER CLOSET
- STAIRS - MIN. RUN 10" - MAX RISE 7 3/4"
- LOCATION OF ATTIC ACCESS TO BE DETERMINED BY CONTRACTOR

REVISIONS

DESIGN ELEMENTS

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 LONE TREE • DVA • 52755
 39 • 634 • 4370
 CRESTNAVA@GMAIL.COM

THE "PRESTON"
 BY
 SOUTHGATE DEVELOPMENT

SCALE: 1/8" = 1'-0"
 DATE: 08/05/2008
 DRAWN BY: JAC
 CHECKED BY: CDM
 PROJECT NUMBER: 07R861

• A7 •

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